

**Milestone Phase I Report
Ocean East Resort Club Association, Inc.**



Report Date: 9/24/2024

Inspection Date: 8/8/2024

Field Inspector: Kaia Iverson

Consultant: **Dudley McFarquhar, Ph.D., PE**
Stone Inspections Group, LLC (SIG)

260 1st Ave S #225
St Petersburg, FL 33701

Per your request, a team from Stone Inspections Group, LLC (SIG) conducted a Phase 1 Milestone Inspection of the referenced property on the following building:

867 S Atlantic Ave, Ormond Beach, FL 32176, USA

Project Background

Year Built:	1967
Building Frame:	Concrete block, concrete stairs, concrete balcony slabs
Building Facade:	Stucco cladding
Roof:	Flat modified bitumen
Community Description:	This community is comprised of a 4-story U-shaped residential building and a swimming pool. This report focuses solely on the structural components of the 4-story building.

Executive Summary

The focus of the Milestone Phase I report is to observe the existing conditions related to structural components of the building and assess the level of safeness. The intent of the study, as outlined in Florida Statute 553.899, is to provide a condition assessment focusing on critical structural elements related to load bearing and/or load transfer capabilities to building structure. This Milestone inspection is to identify substantial structural deterioration only, not to address building code, fire code, environmental or regulatory compliance issues.

This Phase I report is based on deficiencies found during our walk through inspection of the exterior and common habitable areas. The visual inspection is of readily accessible areas as well as information provided by the association. A Phase I Milestone does not include any destructive investigation.

The critical structural components include foundations, walkways, columns, shear walls, roofs, and stairs. In addition, SIG reviewed existing facades, to identify pertinent maintenance items that should be brought to the attention of the ownership. Substantial structural deterioration does not include surface imperfections such as cracks, distortion, sagging, deflections, misalignment, signs of leakage, or peeling of finishes unless the licensed engineer or architect performing the Phase I inspection determines that such surface imperfections are a sign of substantial structural deterioration.

Review Methodology

The following outlines the principles adopted in our visual review to determine substantial structural deterioration:

- Ground based survey
- Common area Interior Inspection
- Exterior accessible area inspection
- Roof inspection
- Measuring Device

A summary of our observations is presented herein. The following presents the observation summary and photo narrative for each of the inspected buildings.

Field Observation Summary

In general, building is in good condition for its age. During the inspection, 11 balconies were accessed through the units (Units 2000, 2004, 2016, 2022, 2024, 2029, 3004, 3005, 3014, 3022, and 3024). The remainder of the balconies were assessed from a ground-level point of view. Further observations and maintenance recommendations can be found in the tables below.

Legend

Deficiencies	Any items listed in this row MUST be remediated to pass the Milestone Inspection.
Maintenance	<p>Any items listed in this row have damages that do not qualify as substantial structural deterioration. Maintenance should be considered, however anything listed here does not affect a passing or failing status.</p> <p>If there are no maintenance items noted this row will not be displayed for the section.</p>
Condition	This row describes the general condition of the item.

Roof

Deficiencies	No deficiencies observed.
Maintenance	<ul style="list-style-type: none">Some small areas of water ponding identified on roof. Association should monitor water ponding to ensure it does not stay on roof for longer than 72 hours.Multiple areas of concrete spalling identified on roof soffit on multiple elevations. Areas of concrete spalling should be repaired during the building's next painting/concrete restoration cycle.
Condition	Roof replaced in 2022 due to hurricane damage. Roof in expected condition for age.

Exterior Walls - Load Bearing

Deficiencies	No deficiencies observed.
Maintenance	<ul style="list-style-type: none">Small areas of concrete spalling identified throughout exterior elevation. It is recommend that these areas be properly repaired during the next building painting cycle.Notable area of concrete spalling identified around roof entry door on both sides of door. Area should be remediated quickly to ensure the continuing functionality of the door and prevent water intrusion.Many areas identified with gaps in grout around stone facade. Areas should be re-grouted to mitigate water intrusion. Recommend that stone facades be continuously monitored for further cracks in the grout.
Condition	Exterior walls in average condition for age.

Stairs

Deficiencies	No deficiencies observed.
Condition	Stairs in good condition.

Railings

Deficiencies	No deficiencies observed.
Condition	Railings in average condition for age. No areas identified with loose railing connections.

WaterProofing

Deficiencies	No deficiencies observed.
Maintenance	Minimal amount of bubbles identified in coating. During next building painting cycle, all bubbles should be popped and the areas should be recoated.
Condition	Waterproofing in average condition for age.

Common Area Windows/Doors

Deficiencies	No deficiencies observed.
Condition	Common area doors and windows in average condition for age.

Balconies

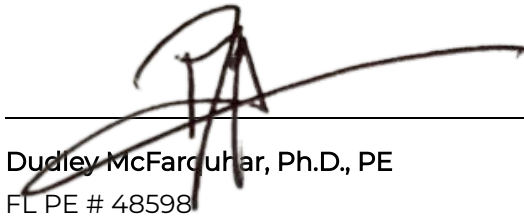
Deficiencies	No deficiencies observed.
Maintenance	<ul style="list-style-type: none">• Small areas of concrete spalling identified on balconies noted herein. Areas should be remediated during the next painting/concrete restoration cycle.• Cracks identified on (3) balconies and (1) patio wall. Some areas with cracks appear to be in areas that have had previous remediation. Recommend routing and sealing all cracks with a polyurethane sealant.• Some balcony slabs identified with delaminated coating. These areas should be remediated during next painting cycle.
Condition	Balconies in average condition for age.

After reviewing the property, it is our opinion that your association has PASSED the Phase I Milestone Inspection.

This concludes the Phase I summary that must be distributed to your membership. If you have any questions, please advise us at your earliest convenience.

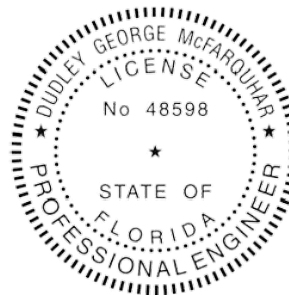
The opinions and findings expressed in this report are based upon the information available to Stone Inspections Group LLC (SIG) as of the date of this report and are the result of limited non-destructive visual investigation of the property and exposed building components. As such, SIG assumes no liability for the misuse of this information by others and reserves the right to modify the conclusions contained herein upon receipt or discovery of additional Information. Due to the limited access and the non-destructive nature of the investigation, SIG cannot be held responsible for any hidden defects that may negatively impact the performance of the structure. This report is intended to provide an overview of the existing conditions, and should not be used as an indicator of future performance; no expressed or implied warranties or guarantees of any kind are given. Thank you for the opportunity to provide services to your building.

Respectfully Submitted,



Dudley McFarquhar, Ph.D., PE
FL PE # 48598

(800) 892-1116 www.stonebldg.com



Timelines

Phase I report must be given to the **local building official within 180 days** of receiving your Milestone letter.

Within 45 days after receiving a completed Milestone Report **it must be distributed to all owners** by the 4 methods listed below in 'Instructions for Distribution'.

365 days to commence work for substantial structural deterioration indicated in the deficiencies column.

Instructions for Distribution

1. **Contact Stone Inspection Group with a copy of your local building official letter** immediately upon receipt. The engineer of record must submit the report to your local official. **Stone Inspections Group will only submit the summary of this report to the building official when we are provided a copy of the letter.** Failure to submit the building letter to our office will result in the association not being in compliance with the Milestone requirements.
2. Distribute this report to the membership in ALL of the following ways within 45 days:
 1. **Mail** the summary of the Phase I to each unit owner at every address they have listed **AND**;
 2. **Email** the summary (if they have signed up for electronic transmissions) **AND**;
 3. **Post** the summary in a conspicuous place in your community **AND**;
 4. Make the **entire report** including the photos available on your **website** (if the association is required by statute to have a website).

The summary is all the pages before this page. It does not include the photographs.

Stone Inspections Group LLC - 260 1st Ave South #225, St Petersburg FL

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Roof

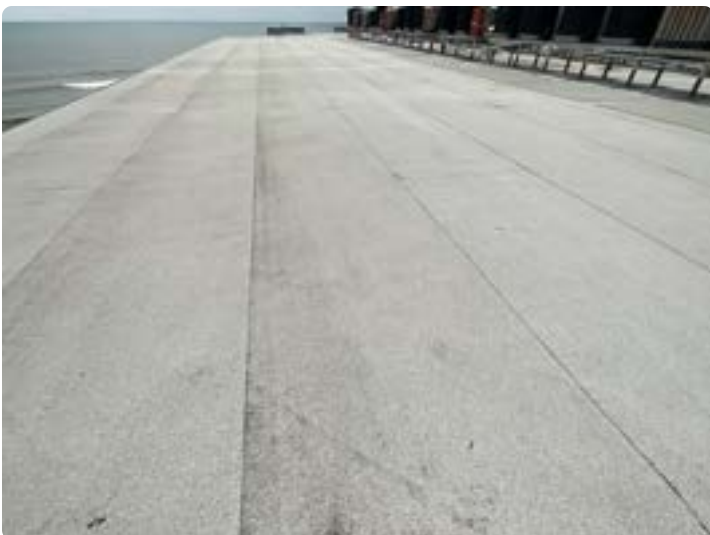
Maintenance	<ul style="list-style-type: none">• Some small areas of water ponding identified on roof. Association should monitor water ponding to ensure it does not stay on roof for longer than 72 hours.• Multiple areas of concrete spalling identified on roof soffit on multiple elevations. Areas of concrete spalling should be repaired during the building's next painting/concrete restoration cycle.
Condition	Roof replaced in 2022 due to hurricane damage. Roof in expected condition for age.



Small area of water ponding on roof



Roof overview



Roof overview



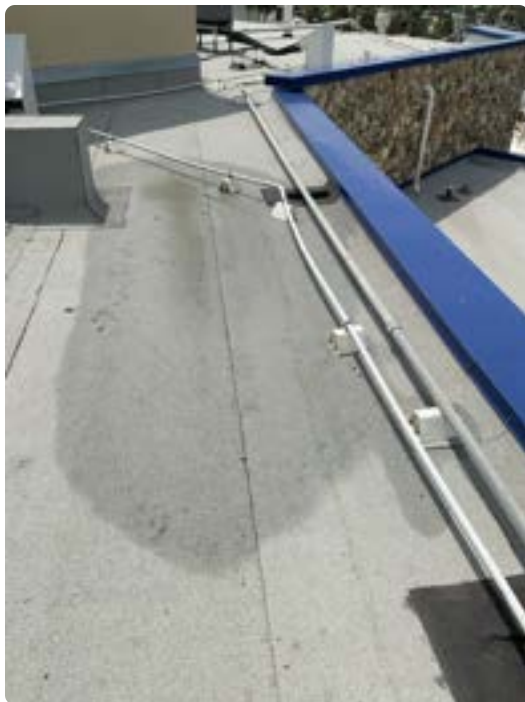
Roof overview



Roof overview



HVAC stands on roof



Minor area of water ponding near rec room roof



Overview of rec room lower roof



Concrete spalling on top floor soffit above Unit 4004



Concrete spalling in roof soffit above Unit 4005



Small area of concrete spalling on roof soffit above Unit 4014



Concrete spalling in roof soffit above Unit 4022



Concrete spalling in roof soffit on left side of middle of rear elevation



Concrete spalling on roof soffit above balcony near shed on rear elevation



Multiple areas of concrete falling on roof soffit on right side of rear elevation

Exterior Walls - Load Bearing

Maintenance	<ul style="list-style-type: none">• Small areas of concrete spalling identified throughout exterior elevation. It is recommend that these areas be properly repaired during the next building painting cycle.• Notable area of concrete spalling identified around roof entry door on both sides of door. Area should be remediated quickly to ensure the continuing functionality of the door and prevent water intrusion.• Many areas identified with gaps in grout around stone facade. Areas should be re-grouted to mitigate water intrusion. Recommend that stone facades be continuously monitored for further cracks in the grout.
Condition	Exterior walls in average condition for age.



Concrete spalling on exterior wall around north side roof entry door



Cracks in stucco allowing for water intrusion into exterior wall near north side roof entry door



Concrete spalling at top of north side exterior stairwell wall on roof



Small areas of concrete spalling on north side roof exterior stairwell wall



Concrete spalling on corner of southside exterior stairwell wall on roof



Side view of portion of concrete spalling on south exterior stairwell wall on roof



Cracked concrete to the left of roof entry door.



Concrete spalling with exposed corroded rebar on interior stairwell wall near Unit 4003



Possible concrete spalling on inside of stairwell near Unit 4003. Unclear if areas are spalling or a previous patch.



Cracks in sealant between exterior wall and stone cladding on left side of front elevation



Possible concrete spalling on exterior wall near second balcony from right on the left side of the front elevation



Cracks in grout around stone cladding on right side of front elevation



Cracks in grout around stone cladding on right side of front elevation



Cracks in grout around stone cladding on right side of front elevation



Concrete spalling at base of exterior wall near stone cladding near far-left balcony on the right side of the front elevation. Area is hollow when sounded.



Concrete spalling on exterior wall behind stone cladding on right side of front elevation.



Cracking and spalling concrete on block wall in housekeeping laundry room. Entire area is hollow when sounded.



Concrete spalling on exterior wall behind stone facade on right elevation.



Cracks throughout grout on stone facade on left side of rear elevation



Concrete spalling on balcony wall on far-left side of rear elevation



Cracks throughout stone facade grout on far-left side of rear elevation



Hollow concrete behind paint bubbling on unit 2000 balcony demising wall



Chip in exterior wall near railing connection on Unit 2016 balcony. Area should be sealed to prevent water intrusion



Crack in previous remediation on Unit 3004 balcony. Area is hollow where circled.



Concrete spalling near railing connection on Unit 2005 balcony



Small area of concrete spalling below railing connection on Unit 3014 balcony



Small area of concrete spalling below railing connection on Unit 3014 balcony



Crack around previous remediation on right elevation



Cracks in stone facade and grout on right elevation



Large cracks in grout in stone facade on far-right side of right elevation

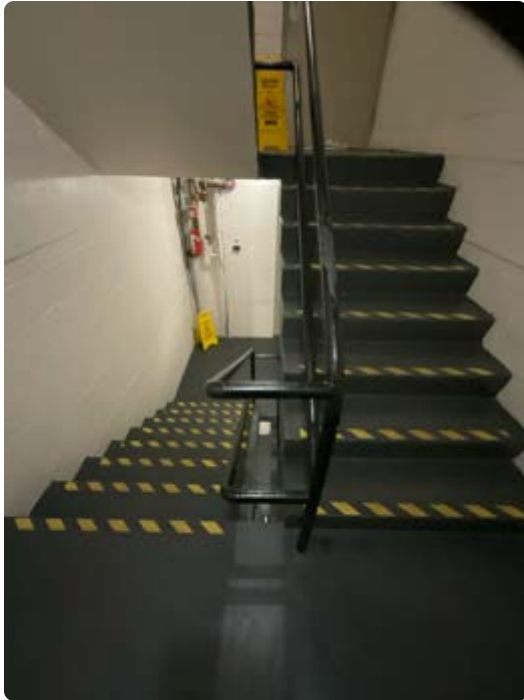


Concrete spalling on demising wall near 4th balcony from left from pool entry door

Stairs

Condition

Stairs in good condition.



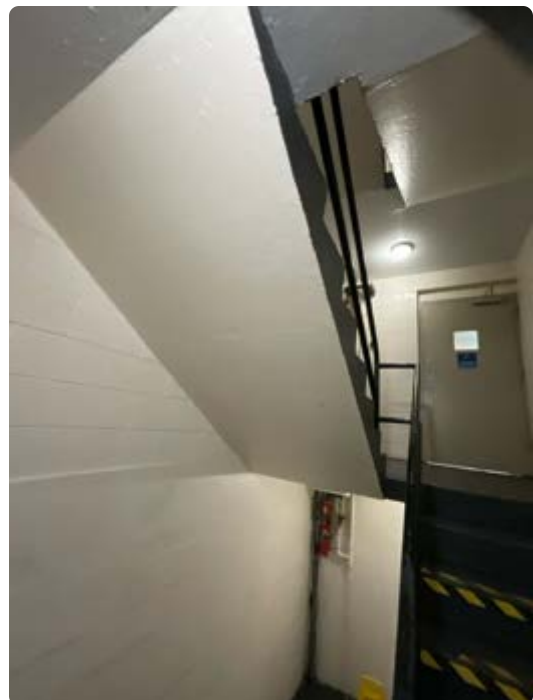
Typical stair sections



Typical stair section



Typical stair section



Underside of stair section

Railings

Condition

Railings in average condition for age. No areas identified with loose railing connections.



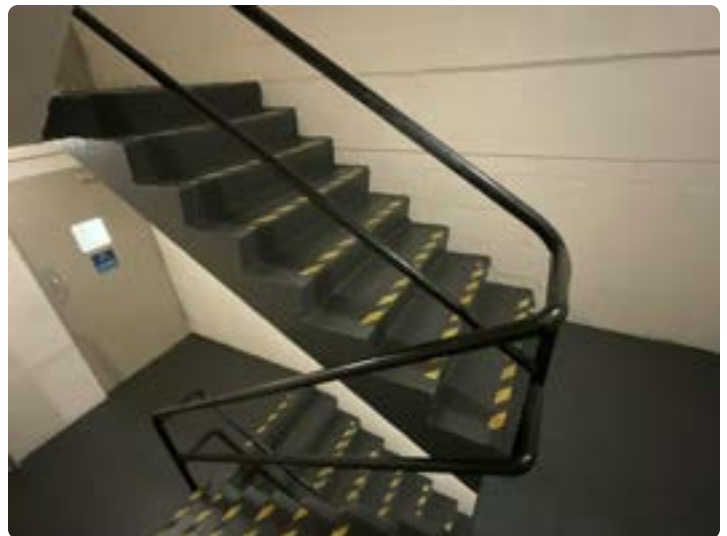
Typical balcony railings



Typical balcony railings



Typical balcony railings



Typical stair railings

Waterproofing

Maintenance	Minimal amount of bubbles identified in coating. During next building painting cycle, all bubbles should be popped and the areas should be recoated.
Condition	Waterproofing in average condition for age.



Coating bubbling on Unit 2005 balcony demising wall

Common Area Windows/Doors

Condition

Common area doors and windows in average condition for age.



Lobby entry door



Common area windows

Balconies

Maintenance	<ul style="list-style-type: none"> • Small areas of concrete spalling identified on balconies noted herein. Areas should be remediated during the next painting/concrete restoration cycle. • Cracks identified on (3) balconies and (1) patio wall. Some areas with cracks appear to be in areas that have had previous remediation. Recommend routing and sealing all cracks with a polyurethane sealant. • Some balcony slabs identified with delaminated coating. These areas should be remediated during next painting cycle.
Condition	Balconies in average condition for age.



Bulges in balcony soffit on second balcony from left on the left side of the front elevation. Unclear from ground if area is due to concrete spalling, past remediation, or paint bubbling.



Cracks in area of previous remediation on second floor, second balcony from right on the left side of the front elevation



Cracks in area of previous remediation on third floor, second balcony from right on the left side of the front elevation



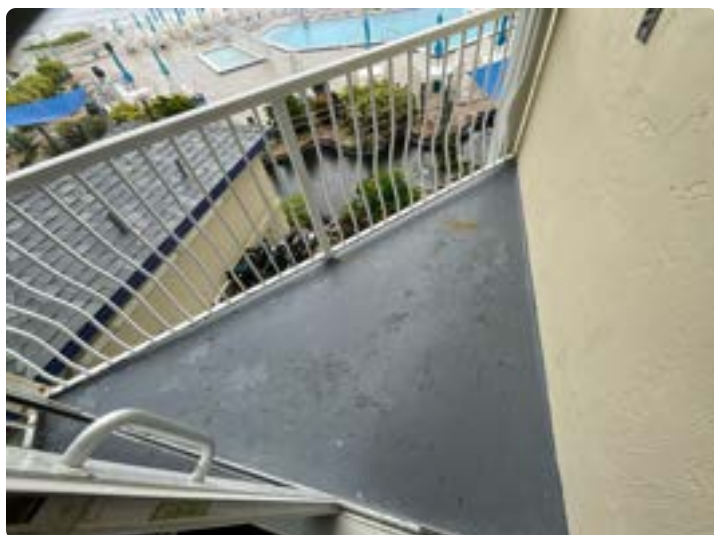
Crack in patio wall and small area of concrete spalling on far-right patio on right side of front elevation



Crack in far-left balcony soffit on right side of right elevation



Crack below balcony slab on second floor, far-left balcony on right side of front elevation



Delaminated coating on Unit 2029 balcony



Delaminated coating on Unit 2000 balcony



Apparent previous remediation on Unit 2004 balcony slab. Area is not hollow when knocked on.



Concrete spalling on balcony slab near middle of rear elevation



Concrete spalling at base of demising wall on balcony near blue tarp on rear elevation

867 S Atlantic Ave, Ormond Beach, FL 32176, USA



Year Built:

1967



Front elevation



Left side of front elevation



Right side of front elevation



Right elevation



Left side of rear elevation



Rear elevation



Right side of rear elevation



Left elevation